



BARN CROFT, GREAT WYRLEY, WALSALL



# BARN CROFT, GREAT WYRLEY, WALSALL, WS6 6BH

FOR SALE  
£265,000



## Ground Floor

### Entrance Porch

Enter via a composite/partly double glazed front door and having uPVC/double glazed windows to the front and side aspects, ceiling spotlights, a central heating radiator, tiled flooring and a composite door opening to the hallway.

### Hallway

Enter via a composite/partly double glazed front door and having a ceiling light point, a central heating radiator, laminate flooring, a carpeted, spindle stairway to the first floor, an under-stairway storage cupboard and a door opening to the dining room.

### Lounge

**15' 8" x 10' 8" (4.768m x 3.248m)**

Having a uPVC/double glazed bay window to the front aspect, a ceiling light point, a central heating radiator, carpeted flooring, an opening to the dining room, a television aerial point and uPVC/double glazed French doors opening to the conservatory.

### Dining Room

**10' 7" x 7' 4" (3.22m x 2.23m)**

Having a uPVC/double glazed window to the rear aspect, a ceiling light point, a central heating radiator, laminate flooring and a door opening to the kitchen.

### Conservatory

**14' 1" x 9' 7" (4.29m x 2.918m)**

Being constructed from a low-level brick wall and uPVC/double glazed windows to the side and rear aspects and having a ceiling light point, a central heating radiator, laminate flooring and uPVC/double glazed French doors to the side aspect opening to the rear garden.

### Kitchen

**20' 0" x 7' 2" (6.09m x 2.18m)**

Being fitted with a range of gloss-finished wall, base and drawer cabinets with laminate worksurface over and having a uPVC/double glazed window to the front aspect, tiled flooring, ceiling spotlights, a vertical central heating radiator, a one and a half bowl composite sink with a spray-arm mixer tap fitted and a drainer unit, a Belling range style, five burner gas oven/hob with a stainless steel/glass chimney style extraction unit over and a stainless steel splashback behind, an integrated dishwasher, an integrated upright fridge/freezer, plumbing for a washing machine, space for a tumble dryer and a uPVC/double glazed door to the rear aspect opening to the garden.

## First Floor

### Landing

Having a ceiling light point, an airing cupboard, carpeted flooring, doors opening to the three bedrooms and the family bathroom and access to the boarded loft space via a loft ladder.

### Bedroom One

**15' 8" x 10' 9" (4.780m x 3.271m)**

Having two uPVC/double glazed windows to the front aspect and one to the rear aspect, a ceiling light point, two central heating radiators, carpeted flooring and a television aerial point.

### Bedroom Two

**9' 4" x 10' 10" (2.855m x 3.298m)**

Having a uPVC/double glazed window to the front aspect, a ceiling light point, a central heating radiator, carpeted flooring and a door opening to a storage cupboard.

### Bedroom Three

**9' 10" x 6' 7" (3.008m x 2.006m)**

Having a uPVC/double glazed window to the rear aspect, a ceiling light point, a central heating radiator and carpeted flooring.

### Family Bathroom

Having two obscured uPVC/double glazed windows one to the rear aspect and one to the side aspect, ceiling spotlights, a vertical central heating radiator, tiled flooring, a WC, a wash hand basin with a mixer tap fitted and under-sink storage, fully tiled walls and an L-shaped bath with a mixer tap fitted, a thermostatic shower over and a glass shower screen installed.

## Outside

### Front

Having a lawn, a low-level brick wall, various plants, shrubs and bushes and a pathway leading to the front entrance.

### Rear

A large garden which has a patio area, steps up to a lawn which is retained by a low-level wall, a step up to a gravel area, security lighting, an electrical point, various plants, shrubs and bushes and access to the front of the property via a side gate.





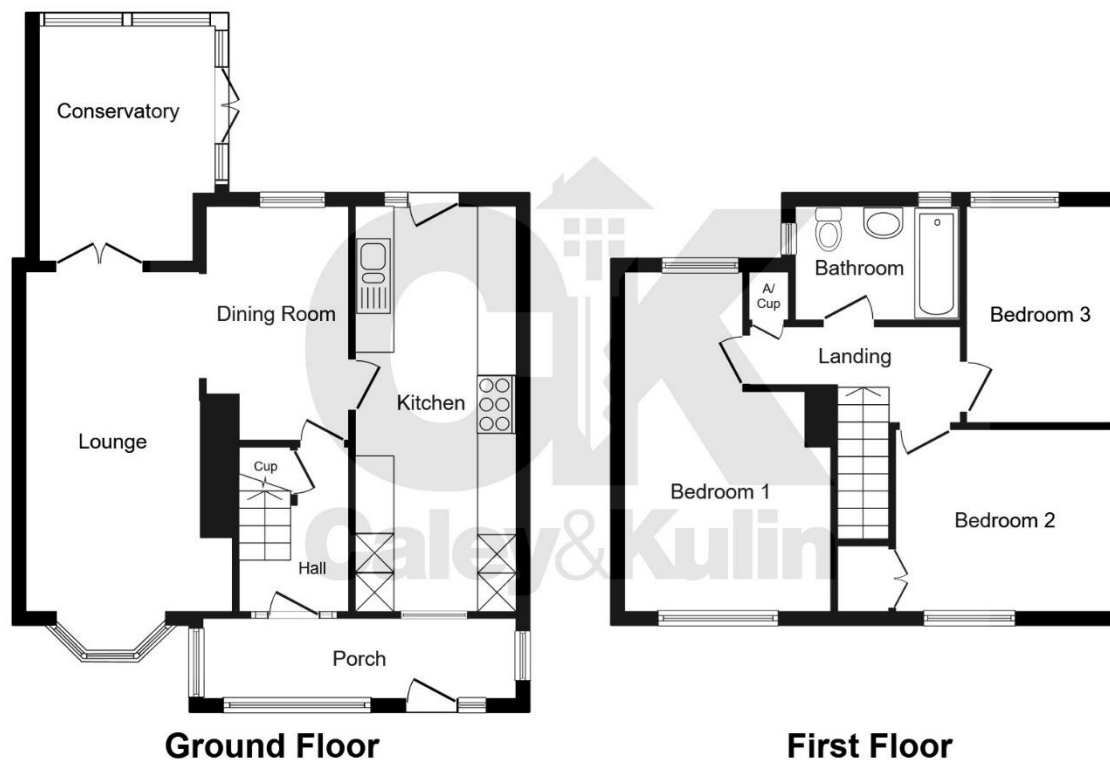






\* An immaculately presented family home located in a very desirable area \*





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**Council Tax Band:** B

**EPC Rating:** C

**Tenure:** Freehold

**Version:** CK1728/001



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